

INSPECTION SERVICES NORTHWEST

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ASHI

CONFIDENTIAL INSPECTION REPORT FOR THE PROPERTY LOCATED AT:
4210-4250 Martin Way, Olympia, WA

INSPECTION COMPLETED ON: SEPTEMBER 13, 2011



EXCLUSIVELY PREPARED FOR:

Mr. Stevens

REPRESENTED BY:

Mr. Terry Moss

Commercial Realty Group

THIS AGREEMENT IS NOT TRANSFERABLE AND IS FOR THE SOLE USE OF THE CLIENT NAMED ABOVE.
3210 SW 166th St. Seattle, WA 98166 (206) 241-8087 FAX: (206) 241-8654

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3210 SW 166th Street - Seattle, WA 98166

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Introduction

- The major components of the subject property have been inspected, including but not limited to structural components, electrical system, roofing system, plumbing system, foundation, and heating system. All systems are analyzed for general operation. This report does not intend to report on all cosmetic aspects of the building or report findings, which are not degrading the property at the time of inspection.
- Our inspection was made visually. Accordingly, conditions that would require inspection by physical means may not have been disclosed.
- This report shall not be deemed a warranty or representation that the premises or fixtures or contents thereof are in a particular state or condition or comply with the requirements of law or are suitable for any particular use, but solely that the same appeared as described herein at the time of our inspection.
- Except as expressly stated in this report, no opinion is given as to any future condition of the premises, fixtures or contents, and where such opinion is given it is understood the same shall not be construed as a representation of

warranty. Liability with respect to this report shall be limited to any damages resulting from negligence and shall not exceed the amount of compensation for preparation of this report.

- Any areas that are inaccessible to the inspector will not be included in this report; accessibility shall be determined at the sole discretion of the inspector. At the client's request, the inspector will return, at additional cost, to complete the inspection once access is available.
- The client must keep in mind that immediate repairs required are listed to guide the client in the decision making process. This list should in no way be taken as a list of all areas of concern, but rather a list of the repairs deemed most important in the opinion of the inspector. The client should inspect the property, review the complete report carefully and read all information as completed by the seller, then draw his or her own conclusions of the repairs required to suit his or her current needs.
- This report does not cover the existence of lead paint. If lead paint analysis is required, it can be supplied under a separate report and for additional cost.
- This report does not cover the existence of asbestos. If asbestos analysis is required, it can be supplied under a separate report and for additional cost.

OUTSIDE THE SCOPE OF THE INSPECTION

Any area, which is not exposed to view, is concealed, or is inaccessible because of soils, walls, floors, carpets, ceilings, furnishings, or for any other reason is not included in this inspection.

This inspection does not include any destructive testing or dismantling. The client agrees to assume the risks for all conditions that are concealed from view at the time of inspection.

This is not a warranty, guarantee, insurance policy or substitute for real estate transfer disclosure, which may be required by law.

Whether or not they are concealed, the following are outside the scope of this inspection:

Building code, electrical code, plumbing code, zoning violations or any other code violations

Geological stability or soils conditions

Structural stability or engineering analysis

Termites, pests, or other wood destroying organisms

Asbestos, radon, formaldehyde, lead, water or air quality, electromagnetic radiation or any environmental hazards

Building value appraisal or cost estimates

Condition of detached buildings

Pools or spa bodies and underground piping or components

Specific components noted as being excluded on the individual inspection forms

Private water or private sewage systems

Saunas, steam baths, hot tubs and their fixtures and equipment

Radio controlled devices, automatic gates, elevators, lifts, dumb waiters, and thermostatic or time clock controls

Water softeners and purifier systems or solar heating systems

Internal furnace components not accessible through visual inspection

Freestanding appliances

Security systems

Personal property

Adequacy or efficiency of any system or component

Tenant owned improvements, partition wall systems and their components, Any equipment not used specifically in the operations and maintenance of the buildings.

Prediction of life expectancy of any item. The client agrees that any comment on life expectancy of any component is subjective in nature and is only the opinion of the inspector. It is not possible to determine exact life expectancy of any building component.

(Some of the above items may be included in this inspection for additional fees. Check with your inspector.)

THE SCOPE OF THE INSPECTION AND LIMITS OF LIABILITY:

The scope of this inspection is limited to visual inspection of the general systems and components of the home to identify any system or component listed in the report that may be in need of immediate major repair. The inspection will be performed in compliance with the standards of practice as outlined by the American Society of Home Inspectors (ASHI). The scope of this report is limited to the items listed in the table of contents of this report.

1. The inspection and report are performed and prepared for the use of CLIENT, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repairpersons, and other interested parties. INSPECTOR accepts no responsibility for use or misinterpretation by third parties. INSPECTOR'S inspection of the property and the accompanying report are in no way intended to be a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the building or its components. Any and all warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded by this Agreement.

Inspection outline:

2. INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents, employees, for claims or damages, costs of defense or suit, attorney's fees and expenses and payments arising out of or related to the INSPECTOR'S negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.

3. INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any agreement for such additional inspections shall be in a separate writing or noted here:

4. In the event of a claim against INSPECTOR, CLIENT agrees to supply INSPECTOR with the following: (1) Written notification of adverse conditions within 14 days of discovery, and (2) Access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.

5. The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any adverse claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims.

6. If any court declares any provision of this Agreement invalid or unenforceable, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR. No change or modification

shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.

7. Payment of the fee to INSPECTOR is due upon completion of the on-site inspection. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorney's fees, if any.

summary

PRESENT AT INSPECTION:

Mr. Stevens	Purchaser
The Seller	
Mr. Terry Moss	Purchasers' representatives
Mr. Wade Pennington	Inspector
Mr. Neal Strobel	Inspector

PROPERTY SUMMARY

This summary sheet is provided for the purchaser's convenience. The purchaser must read the full report, do his or her own investigation and draw his or her own conclusions as to whether the property meets his or her needs. This report only details the condition onsite at the time of inspection. No assessment of future conditions is stated or implied. This report is limited to the findings made by a visual inspection of the building. Any items that are hidden from view are not covered in this report. If this report calls for a re-inspection, then this report must be considered incomplete and all information supplied in this report is subject to revision. It is the purchaser's obligation to call for re-inspection of any areas that were inaccessible at the time of the inspection.

ALL REPAIRS SUGGESTED IN THIS REPORT SHOULD BE COMPLETED BY A LICENSED CONTRACTOR IN THE APPROPRIATE FIELD.

The subject property is a commercial center built in 2004. The property consists of two separate buildings with a parking area between the buildings.

The buildings are in good overall condition with no signs of deferred maintenance.

An area of concern at the roofing system, as noted in the roof section of the report, is the de-granulation of the roofing at the east end of the west building. This area of the roof will have to be replaced at this time.

Another area of concern is at the torchdown seams in some areas of both roofs. These areas appear to have been over heated at the time of installation, this has caused a premature failure of the roofing localized at the seams. A roofing contractor will have to determine the repairs required to ensure the effective life of the roof is not reduced.

The exterior components of the building are at the age that some areas of re-caulking and minor repair are needed at this time. This areas are called out in the exterior section of this report.

As of the writing of this report, we have not received or reviewed the maintenance records for the HVAC units or the pictures requested from the seller of the inaccessible electrical room of the west building. We would be happy to review these items when they are supplied to us.

Estimated Total Building Repair Costs

-	-	-	<u>Immediate Costs</u>
---	---	---	------------------------

Scrape, Prime repaint soffit, fascia, decay repair	\$7,500
Decay repair, caulking	\$5,000
Window replacement / door repair	\$500
Roofing repairs / de-granulation	\$15,000
Roof repairs because of seam damage	*unknown
Electrical repairs	\$500

Total Cost of repairs	\$0	\$0	\$0	\$23,500
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*A roofing estimate will be required to determine this cost.

IMMEDIATE REPAIRS SUGGESTED:

THE IRRIGATION SYSTEM MUST BE PROPERLY ADJUSTED TO DIRECT ALL WATER AWAY FROM THE WINDOW SYSTEMS. THE SYSTEM IS SATURATING SIDING AND TRIM AND DAMAGING THE FIRST STORY FRONT GLASS IN SOME AREAS.

THE WOOD TRIM AT THE COVERED WALKWAYS WILL REQUIRE PAINTING AT THIS TIME. SCRAPE, PRIME AND REPAINT ALL WOOD PANELING AND TRIM LOCATED AT THE NORTH, WEST SIDES OF BOTH BUILDINGS.

REPLACE THE DECAYED MATERIAL AT SOUTH CORNER OF THE PANDA EXPRESS ENTRANCE

RE-CAULK THE ENTRYWAY OF STARBUCKS TRIM AND SIDING TO CMU

REPLACE THE BROKEN WINDOW AT SOUTH SIDE OF BRIGHT NOW DENTAL

REPLACE THE FAULTY DOOR SEAL AT THE STOREFRONT DOOR AT NORTHEAST CORNER ENTRY

REPLACE ALL DE-GRANULATED ROOFING MATERIAL AT THE NORTHWEST CORNER OF THE WEST BUILDING. APPROXIMATELY A 20' X 20' AREA.

REPLACE THE TEMPORARILY PATCHED ROOFING MATERIAL AT CURBING SYSTEM OF ROOF PACK 1, WEST BUILDING WITH A PROPER TORCH DOWN PATCH.

DETERMINE WHY THE ROOFING IS FAILING AT THE SEAMS IN SOME AREAS OF BOTH BUILDINGS AND WHAT REPAIR AS IS REQUIRED TO ENSURE THE EXPECTED LIFE OF THE ROOF CAN BE REACHED WITHOUT PREMATURE FAILURE OF A DEGRADED MEMBRANE.

COMPLETE ALL REPAIRS TO THE ROOF SURFACE REQUIRED TO INSURE THAT THE PREVIOUS LEAKING AT THE ROOFING SYSTEM ABOVE THE STORAGE ROOM AT THE NORTH SIDE OF THE EAST BUILDING IS NOT AN ACTIVE ROOF LEAK.

REPAIR THE ACTIVE ROOF LEAK AT THE NORTHEAST CORNER OF BRIGHT DENTAL ENTRYWAY

PROPERLY SEAL THE UNUSED ELECTRICAL SIGN WIRING AT SOUTH SIDE OF BRIGHT DENTAL AND AT THE SOUTH SIDE OF STARBUCKS

REPLACE THE EXTERIOR LIGHT BALLAST AT THE NORTHEAST CORNER OF THE BANK

REPLACE THE FAILING DIELECTRIC CONNECTOR AT THE HOT WATER TANK AT PANDA EXPRESS

MAIN CONTROL LOCATIONS

Electrical service location:

Electrical room in each building

For the purposes of this report, the structure faces:

South

Weather conditions:

Dry, Approximately 65 degrees

GROUNDS AND OUTDOOR SPACES

1. LANDSCAPING, DRIVES, FENCING, GRADING, PARKING AREA

The landscaping is inspected for any unsafe conditions including dead or dying tree branches, plant or shrubs too close to the structure, pitch of the land in relation to the structure, abnormal cracking, sinking drives or walks and the general condition of fences. It is beyond the scope of this report to comment on any property boundaries. Deciduous trees cannot be analyzed for dead branches at certain times of the year.

Condition of the lawn and landscaping:

General landscaping conditions are noted to recognize adverse conditions that relate to the condition of the structure.

The landscaping is in good overall condition.



Although difficult to see in this picture the sprinkler system is damaging the glass at the lower panes because it has been directing water into the windows when the irrigation system runs.

THE IRRIGATION SYSTEM MUST BE PROPERLY ADJUSTED TO DIRECT ALL WATER AWAY FROM THE WINDOW SYSTEMS. THE SYSTEM IS SATURATING SIDING AND TRIM AND DAMAGING THE FIRST STORY FRONT GLASS IN SOME AREAS.

Trees and shrubs:

Trees and shrubs that are a safety hazard to the structure will be noted.

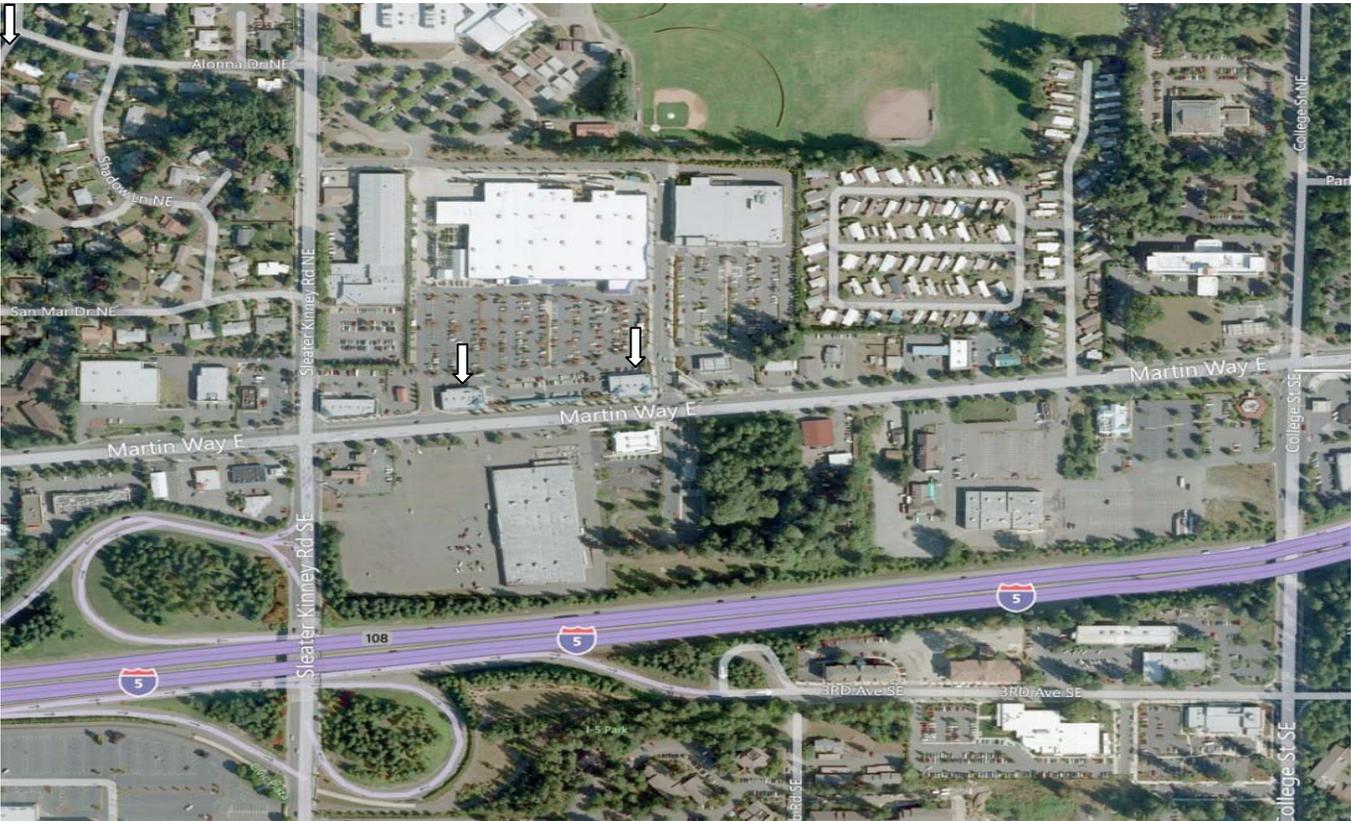
Good

Condition of driveways and other impervious surfaces:

Cracking and settling of driveways and walks is normal, particularly in older buildings. Large cement pours without expansion joints will crack and settle with age. Only severe adverse conditions will be noted for immediate repair.



The parking area has been recently seal coated and restriped.



Grading:

Proper grading of the landscape requires that all ground be positively sloped away from the structure. This is to ensure ground water is directed away from the structure and does not either pool against the foundation or enter the foundation

crawl space. In some cases, the landscape has matured with an improper slope but has not had any adverse effect. In this case, no repair will be suggested.

Good

Earth to wood contact:

Earth to wood contact occurs when the finish ground grade level is too high around the perimeter of the structure. This allows moisture to migrate from the ground or landscape material into the siding and framing material and will over time cause fungal decay of the materials. This repair will be noted even if damage has not yet occurred to avoid future damage.

None

2. OUTDOOR SPACES, DRIVES, PARKING AREAS:

This area lists all information on porches, decking, gazebos, and any other outdoor structures attached to the main structure.

Structure type:

Walkways, sitting areas.

Condition of flooring:

The visible deck flooring material is inspected for damage and decay. In most cases, some sections of the deck structure will be inaccessible because of grade or enclosures. Inaccessible areas are excluded from this report. Minor decay that does not affect the structural integrity or use of the deck system will not be listed for immediate repair.

The Sidewalks, walkways, curbs are in good condition with no areas of concern noted

General condition of structure:

A complete analysis of the structural integrity of the deck and components is beyond the scope of this inspection. If any deck is to be used for any purpose that increases the deck loads, the deck should be checked by a licensed contractor using load calculations to determine if the deck meets the proposed needs.

Good

BUILDING EXTERIOR

3. EXTERNAL WALL COVERINGS

The external wall coverings are inspected for general condition, condition of paint, any missing components or flashing, and excessive gaps between the siding and window trim. The fascia boards are inspected for venting and any signs of moisture buildup in the attic area.



Siding Material:

Destructive testing or dismantling of the siding system is beyond the scope of this inspection. Problems related to wall flashing, window flashing, and building moisture barrier must be excluded from this report because of their hidden nature. If our visual analysis of the exterior or interior building components indicates a problem related to the siding or moisture barrier, invasive testing of the system should be performed by a licensed contractor or expert in the field. Older buildings that have been upgraded with the installation of a second layer of siding over the original layer limit the effectiveness of a visual inspection. The original siding material may have damage that is hidden from view.

Lap cedar, CMU, Store fronts

Condition:

The siding material is inspected for any substantial damage, missing components signs of material failure, decay or other visible damage. Identification of the type of material used and the manufacturer will be attempted if it is a man made composite material. If the material is subject to a known class action suit, the appropriate contact information will be listed. It is outside the scope of the inspection to determine if a material is or is not eligible for a claim or monetary compensation.

The siding is in good overall condition. As noted below some areas are in need of maintenance at this time including caulking, minor decay repair, paint.

Paint:

The general paint condition is noted. Any areas of failing paint will be listed for immediate repainting.



THE WOOD TRIM AT THE COVERED WALKWAYS WILL REQUIRE PAINTING AT THIS TIME. SCRAPE, PRIME AND REPAINT ALL WOOD PANELING AND TRIM LOCATED AT THE NORTH, WEST SIDES OF BOTH BUILDINGS.

Decay:

Visual analysis of the siding condition and decay is limited to the area accessible from the ground. Destructive testing, which is beyond the scope of this report, may be required to reveal hidden decay in window frames or wall systems.



REPLACE THE DECAYED MATERIAL AT SOUTH CORNER OF THE PANDA EXPRESS ENTRANCE

Caulking condition:

Older buildings do not generally have caulking material installed at the windows and trim work. Newer buildings have a bead of caulking used to seal the gaps between the windows, doors and trim work. If the caulking has failed in these areas, or if the area is not caulked and is a possible water migration joint, caulking will be required.



RE-CAULK THE ENTRYWAY OF STARBUCKS TRIM AND SIDING TO CMU

Windows:



REPLACE THE BROKEN WINDOW AT SOUTH SIDE OF BRIGHT NOW DENTAL

Window material:

Aluminum

Window glazing:

Double pane

Window operation:

Only a representative number of windows will be tested for proper operation.

Good

Doors:



REPLACE THE FAULTY DOOR SEAL AT THE STOREFRONT DOOR AT NORTHEAST CORNER ENTRY

4. ROOFING, CHIMNEY EXTERIOR AND GUTTERS

The roofing is inspected for signs of excessive wear, cracked or missing flashing, sub-standard application of roofing material, and sub-standard roof penetrations. This inspection should in no way be taken as a warranty that the roof is or will be free of leaks. Some roofs are inaccessible because of weather conditions or pitch. Weather conditions limit the effectiveness of a visual inspection; active leaks could be hidden from view.



Roofing material:

Modified Bitumen

Condition:

The roofing material is inspected for any signs of severe wear, cracking, missing material, pooling, excessive debris, flashing condition, skylight condition, and venting, general wear. Our analysis is severely limited because of the short amount of time of site. Weather conditions at the time of the inspection can severely limit the chance of finding active roofing leaks.



REPLACE ALL DE-GRANULATED ROOFING MATERIAL AT THE NORTHWEST CORNER OF THE WEST BUILDING. APPROXIMATELY A 20' X 20' AREA.



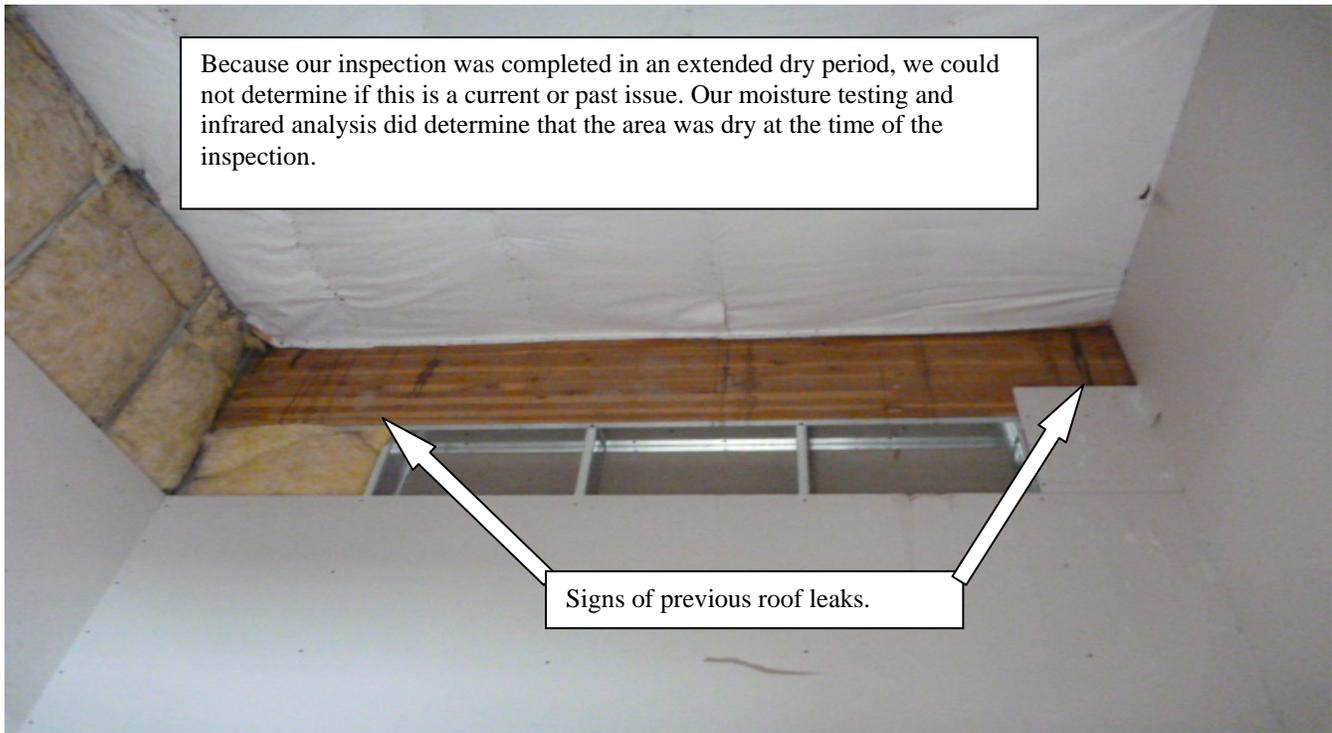
REPLACE THE TEMPORARILY PATCHED ROOFING MATERIAL AT CURBING SYSTEM OF ROOF PACK 1, WEST BUILDING WITH A PROPER TORCH DOWN PATCH.

The roofing material at the seams is prematurely failing in some areas on both roofs. The roofing must be repaired in these areas to properly protect the membrane.





DETERMINE WHY THE ROOFING IS FAILING AT THE SEAMS IN SOME AREAS OF BOTH BUILDINGS AND WHAT REPAIR AS IS REQUIRED TO ENSURE THE EXPECTED LIFE OF THE ROOF CAN BE REACHED WITHOUT PREMATURE FAILURE OF A DEGRADED MEMBRANE.



COMPLETE ALL REPAIRS TO THE ROOF SURFACE REQUIRED TO INSURE THAT THE PREVIOUS LEAKING AT THE ROOFING SYSTEM ABOVE THE STORAGE ROOM AT THE NORTH SIDE OF THE EAST BUILDING IS NOT AN ACTIVE ROOF LEAK.

Pitch:

The pitch of the roof surface is the steepness of the roof. Roof system pitch dictates the roofing materials used. A low pitch roof, less the 3/12 (3 inches of rise for every 12 inches of run) does not have adequate pitch for a typical asphalt tab roofing material and must have a torchdown or tar roofing material.

Low

Roofing material in relation to pitch:

Good

Valleys:

The valley of the roof is the area where two planes of the roof intersect. This area is a metal valley or roofing material valley. The area is subject to wear faster than the roof plains because all run off is directed to the valley area. This is a critical area for roof maintenance.

Good

Flashing:

The roof flashing material is the material that protects the roof from leaks at the roof penetrations such as the plumbing stacks, chimneys, skylights, etc. The area is inspected for general condition, signs of previous repairs and is inspected from the attic space for previous leaks if the areas are accessible.

Good

Method of inspection:

Because of steep pitches, weather conditions or other reasons walking the roof surface may not be possible. If analysis must be made from the ground or ladder, the analysis will be limited to the areas visible from the ground. Inspection is

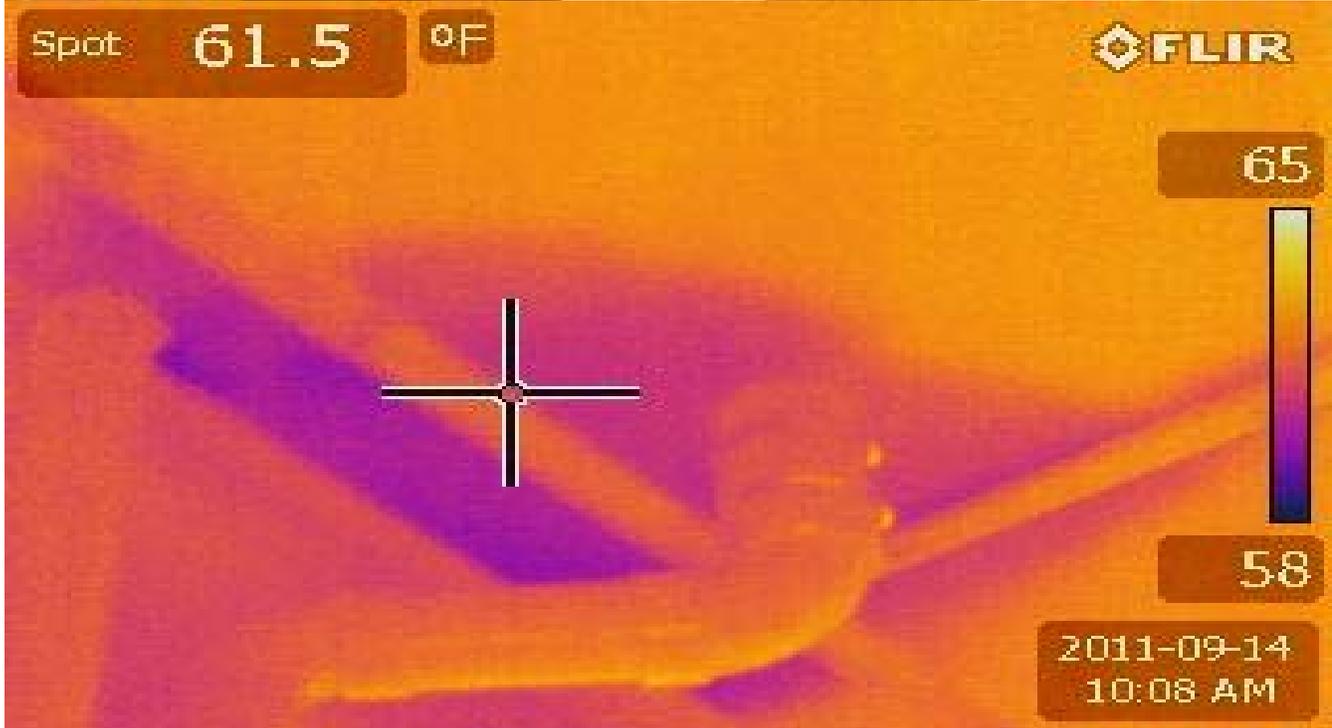
for general wear and damage to the roofing components. No statement of life expectancy is stated or implied. It is not possible to determine the exact chronological age or life expectancy of any roofing material.

The roofs were inspected from the roofing surface.

Gutters & downspouts:

Gutters and downspouts are inspected for general condition and any visible signs of blockage or soil erosion from blocked tight lines.

Point of active roof leak as seen below in the thermograph. This is the northeast corner of the west building



REPAIR THE ACTIVE ROOF LEAK AT THE NORTHEAST CORNER OF BRIGHT DENTAL ENTRYWAY

5. THE GARAGE OR CARPORT

SECTION 5: NONE

Foundation and Structural Systems

6. FOUNDATION AND STRUCTURAL SYSTEM

This area includes all sub-structures, footings and support structures. It must be noted that under most circumstances inspect of all portions of the sub-structures is not possible. Any problems that are visible during the inspection will be noted, and a structural inspection may be required if there are potential problem areas. No representations as to the conditions or stability of soils, footings or foundations are made, other than to note any shifting or sinking that may have occurred as of the date of this inspection. The subflooring may not be accessible. Any area that is determined to be unsafe or inaccessible by the inspector will not be inspected. If any area of the crawl space is inaccessible, it is the client's responsibility to call for re-inspection after access has been provided. Failure of the client to call for re-inspection shall deem this inspection incomplete. The client agrees to assume the risk for any damage incurred.

The analysis of foundation systems will not include bringing older structures to current standards. Older structures may show signs of substantial settling or compression of materials that have occurred over the years that do not require repair or replacement under current use, but may require substantial repair or even replacement if any work is completed that affects the current conditions. Older foundation systems will not meet current workmanship standards. This report cannot identify or report the upgrading or repairs required to bring older foundations to current standards.





Nature of foundation:

Slab on grade with CMU exterior bearing walls

Foundation material:

Poured concrete

Roof Structure:

Manufactured truss over gluelam.

Dampness and decay:

Weather conditions at the time of the inspection will affect the amount of water visible. It is common for small amounts of migratory water to be present in the crawl space during the rainy season. This report only covers the condition of the crawl space at the time of the inspection.

None visible

Basement walls:

No signs of settling

General condition of foundation:

Good

Sump pump present:

No

MECHANICAL SYSTEMS

7. HEATING AND AIR CONDITIONING

The heating system has been inspected for general operation including the operation of thermostats, the condition of venting systems and the general condition of the motor and blower unit. Any visible adverse conditions will be noted. It is beyond the scope of this inspection to determine the effective age of the system. The system was not tested for any combustible gases. Heat exchanger analysis is beyond the scope of this inspection.



Typical roof pack HVAC unit as installed on both roof systems. There are a total of nine units.



Emerald Aire, Inc has been providing quarterly maintenance on the units since install, this information was provided by the seller.



The name plates above are the west building roof top units.



Carrier Corporation
 MODEL: 48TD006-A-501--
 SERIAL: 4402G0304

FACTORY CHARGES
 RLY VOLTS AC PH HZ RLA LRA REF. SYSTEM R-22 TEST PRESSURE GAGE
 COPR 1 208/230 3 60 16 114 7.9 LBS 3.6 1401 PSI 2761 KPa
 COPR 1 208/230 3 60 16 114 7.9 LBS 3.6 1401 PSI 2761 KPa
 FAN RTR QTY VOLTS AC PH HZ FLA
 OUTDOOR 1 208/230 1 60 1.4
 INDOOR 1 208/230 3 60 5.2
 OTHER 1 208/230 1 60 0.6
 COMBUST 1 208/230 1 60 0.6

CHARGE SYSTEM PER INSTALLATION INSTRUCTIONS FOR OUTDOOR INSTALLATION ONLY
 R22 208/230 3 14.60
 R410A 254 187

MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS

TOP	BOTTOM	SIZES	FLUE SIZE
DOWN SUPPLY	0 IN 0 MM	1.0 IN 25.4 MM 0 IN 0 MM	36 IN 914 MM

* FOR INSTALLATION ON COMBUSTIBLE FLOORING OR CLASS A, B, OR C ROOFING MATERIAL
 ** 18 INCHES (457MM) WITH ACCESSORY FLUE DISCHARGE DEFLECTOR

TEST
 OCT 27
 TEST METHOD 35
 AIRFLOW UNIT RECORDED 36
 SEVEN CERTIFIED TEST TECHNICIANS USED
 ALL MEASUREMENTS MADE IN ACCORDANCE WITH ASHRAE 90.1-2010

ASH TEMP RISE
 25-55F
 13.8-30.6C

DESIGNED MAINTENANCE OUTLET AIR TEMPERATURE 165F 85C

NEW EXTERNAL STATIC PRESSURE 0.75HC 0.25KPA

INPUT FAN 24000
 OUTPUT CAP 59200
 EFFICIENCY 21.7

NEW EXTERNAL STATIC PRESSURE 13HC 3.23KPA 4HC 0.99KPA
 NATURAL GAS 17.3 80

ASHRAE 90.1 COMPLIANT

UL US LISTED
 DESIGNATION OF LISTING AGENCY
 LISTED
 DESIGNATION OF LISTING AGENCY



Carrier Corporation
 MODEL: 48TD006-A-501--
 SERIAL: 3702G40305

FACTORY CHARGES
 RLY VOLTS AC PH HZ RLA LRA REF. SYSTEM R-22 TEST PRESSURE GAGE
 COPR 1 208/230 3 60 16 114 7.9 LBS 3.6 1401 PSI 2761 KPa
 COPR 1 208/230 3 60 16 114 7.9 LBS 3.6 1401 PSI 2761 KPa
 FAN RTR QTY VOLTS AC PH HZ FLA
 OUTDOOR 1 208/230 1 60 1.4
 INDOOR 1 208/230 3 60 5.2
 OTHER 1 208/230 1 60 0.6
 COMBUST 1 208/230 1 60 0.6

CHARGE SYSTEM PER INSTALLATION INSTRUCTIONS FOR OUTDOOR INSTALLATION ONLY
 R22 208/230 3 14.60
 R410A 254 187

MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS

TOP	BOTTOM	SIZES	FLUE SIZE
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 13.8-30.6C

DESIGNED MAINTENANCE OUTLET AIR TEMPERATURE 165F 85C

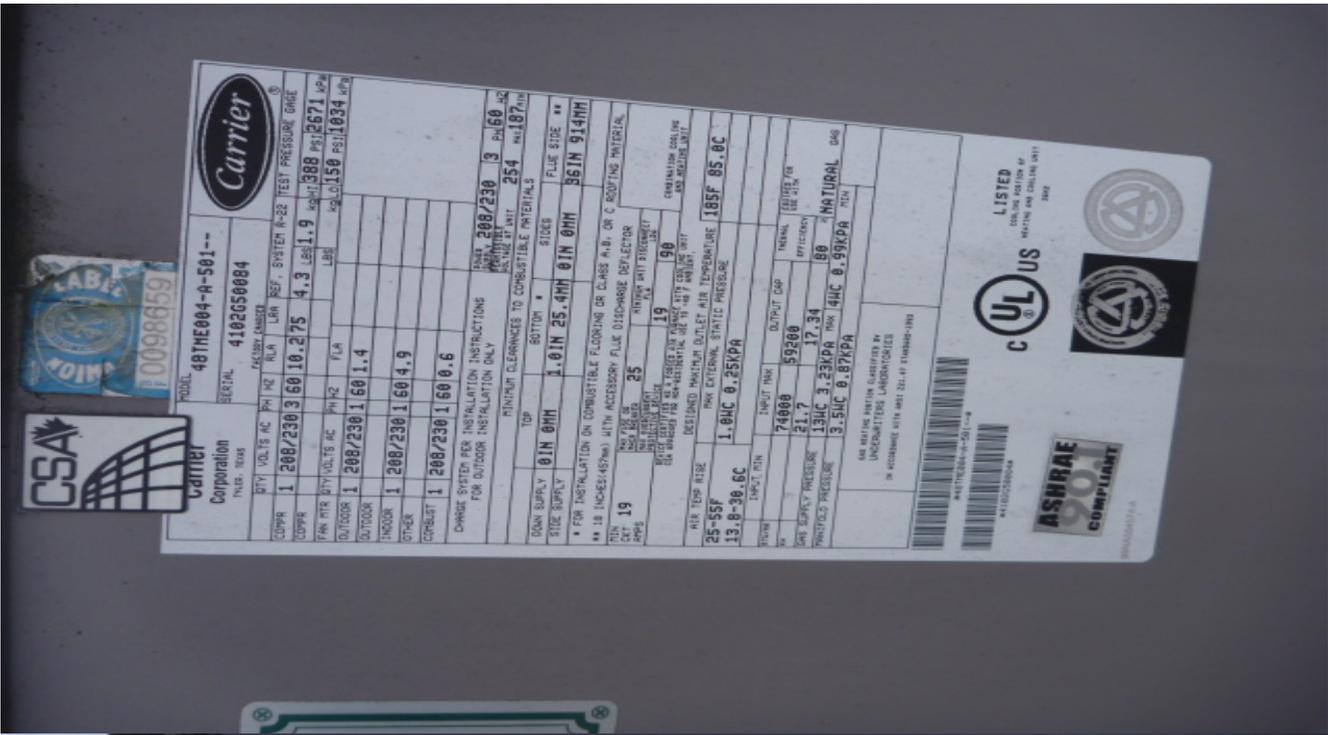
NEW EXTERNAL STATIC PRESSURE 0.75HC 0.25KPA

INPUT FAN 24000
 OUTPUT CAP 59200
 EFFICIENCY 21.7

NEW EXTERNAL STATIC PRESSURE 13HC 3.23KPA 4HC 0.99KPA
 NATURAL GAS 17.3 80

ASHRAE 90.1 COMPLIANT

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 DESIGNATION OF LISTING AGENCY
 LISTED
 DESIGNATION OF LISTING AGENCY



Condition of the heat pumps:

The roof top HVAC units are all approximately eight years old. The units appear to have been properly maintained. The seller stated that the units have been inspected and repaired every quarter by Emerald Aire. We found no issues related to the general operation of the units. Service records were not provided for our review.

Cleaning:

Good

Vent:

Good

Combustion air, volume only:

Good

Ducts:

Good

Thermostat:

Good

Automatic safety controls:

Yes

Air-conditioning test:

None

Oil tank type:

Because of the hidden nature of underground oil storage tanks, it is beyond the scope of this inspection to determine if a tank is located on the property. If any visual indications are present, decommissioning the tank will be required.

If the property has an in use underground storage tank, it may qualify for coverage under the Washington State Pollution Liability Insurance Agency. This insurance protects you in the case of soil contamination from your tank. Please call 1-800-822-3905 to determine if your tank qualifies.

None known

8. ELECTRICAL SYSTEM

All electrical components are inspected with regard to their operating condition. A representative number of switches, outlets and fixtures are inspected for general operating condition. Adverse conditions that are visible at the time of inspection will be noted. Due to the inaccessibility of major wiring components, hidden adverse conditions may exist. Load, code or service calculations are not performed. If further analysis of the system is required, a licensed electrical contractor should be hired.



Meter base and main service feeders for the east building.

NO ACCESS WAS PROVIDED TO THE WEST BUILDING ELECTRICAL SERVICES ROOM. THIS AREA IS EXCLUDED FROM THIS REPORT.

Service entrance:

East building: 1000 Amps

Service location:

North side of the east building

West side of the west building.

Aluminum Branches noted:

No

Service entrance type:

Underground

Capacity available:

240 (3 Wire)

Type:

Wire insulation:

Romex

Plug receptacles:

Grounded

Upgraded:

No

Exposed safety hazards:



PROPERLY SEAL THE UNUSED ELECTRICAL SIGN WIRING AT SOUTH SIDE OF BRIGHT DENTAL AND AT THE SOUTH SIDE OF STARBUCKS



REPLACE THE EXTERIOR LIGHT BALLAST AT THE NORTHEAST CORNER OF THE BANK

GFCI Circuits in the electrical panel:

No

Grounding source:

Driven rod

Main wiring material:

Copper

Main breaker:

Yes

Service capacity for building size:

Good

Service entrance wire size:

4/0

Service panel condition:

Good

Labeled:

All electrical panels should be clearly labeled. In the case of emergency, you should be able to determine from the service panel which breaker will turn off power to every room.

Yes

10. PLUMBING SYSTEM

The plumbing system includes the domestic water supply, drainage, and vent and waste lines. These items are inspected for general condition, excessive wear, leaks, sub-standard water pressure, inadequate drainage and proper function. Hidden parts of the system, including but not limited to underground supply lines and private supply or waste systems, are excluded from this inspection. Private waste and water systems are excluded from this report. If desired, a plumbing expert should be retained for this type of inspection.

Source of water:

Municipal

Shut off valves:

Located at the main and at the fixtures

Main shut off valve location:

Supply lines:

Copper

Waste lines:

ABS Plastic

Waste disposal:

This information is provided by third parties and verification is not completed as a course of this inspection. Private waste systems are excluded from this report.

Municipal

Cross connections:

No

Functional drainage:

Good

Functional flow:

Good

Water pressure:

Good

Vent lines:

Adequate

Leaks:

None

Exterior plumbing protected from freezing:

Yes

General condition of plumbing:

Good

Signs of corrosion:

None

11. DOMESTIC HOT WATER

Inspection of the domestic hot water system includes all connections made at the tank and the tank itself for any signs of leaks or overheating. The inspection is limited by the hidden nature of the plumbing system. No recovery time tests are completed.

Location:

In each space

Type:

Gas

Venting:

Good

Pressure relief valve:

Routed to the exterior

Dielectric connectors:



REPLACE THE FAILING DIELECTRIC CONNECTOR AT THE HOT WATER TANK AT PANDA EXPRESS

Seismic restraint:

Yes

Eighteen inches off the ground:

Yes

12. ATTIC AREA

The attic area consists of the area between the top finished ceiling area and the under side of the roofing. This area is inspected for any signs of past or present water damage, moisture buildup, decayed material,

and insect infestation. All accessible areas are visually inspected and the insulation depth and adequacy of ventilation are noted. All attics have some inaccessible areas; low-pitched attics may be inaccessible.

Insulation information: <http://www.weatherization.com/>

Access type:

Drop ceiling

Leak evidence:

During dry periods it may be impossible to determine if previous leaks are have been properly repaired. It is impossible determine that the roof will be free of leaks in all weather conditions. Repair will be required if there are indications that leaks have not been repaired.

Please see the roof section above

Rafters:

Good

Sheathing:

Plywood

Ceiling joists:

Good

Ventilation:

Fair

Insulation type and approximate r-value:

Fiberglass faced batts, Approximate R-Value: 30.

BUILDING COMPONENT LIFE CYCLE:

BUILDING COMPONENT LIFE CYCLE: HOW LONG WILL IT LAST?

Actual useful life will vary depending on the quality of the component, owner maintenance, and environmental conditions. Appliance life will also depend on the amount of use and roofing life can vary greatly with the construction differences such as the type of attic ventilation. This guide can be used to compare to current ages of components so an appropriate budget can be determined.

APPLIANCES		FLOORS AND STAIRS	
Dishwasher	9-12	Resilient	15-25
Disposal		6-9 Ceramic tile	25-50
Refrigerator	17-20	Carpet	10-20
Range	17-22	Slate/Marble	100
Microwave oven	10-13	Stairs	50-100
Dryer	13-15	Rails	30-40
Clothes washer	12-15		
Water Heater: electric	11-13	PLUMBING	
Water Heater: gas	12-15	Faucet and valve	15-20
Sump Pump	8-11	Galvanized piping	40-50
		Galvanized entrance pipe	40-50
HEATING & COOLING		Copper piping	80+
Central air conditioner	15-25	PVC piping	80+
Window unit	10-14	Polybutylene piping	6-12
Furnace: gas, oil forced air		18-25 Cast iron waste line	75-100
Heat Pump	10-14	Plastic waste line	50-75
Humidifier	8-10	Iron gas line	75-100
Boiler: gas fired cast iron		40-60	
Oil burner	10-12	ELECTRICAL	
Circulator pump	10-12	Smoke detectors	10
Underground oil tank: steel	20	Entrance cable	30-40
Underground oil tank: fiberglass	30	Electric panel	25-35
Electric baseboard heater		Circuit breakers	10-15
Electronic air filter	10-12	12-14 Receptacles	15-25
Ductwork: galvanized	30	Ground fault breakers	5
Attic fan		20	
WALLS		SIDING	
Drywall/plaster	30-70	Aluminum siding	30-50
Ceramic tile	100	Vinyl siding	50
Paneling	10-40	Wood siding	50-100
		Hardboard/Composite	10-20
ROOFING		MASONRY	
Asphalt shingles	15-25	Chimney, fireplace & brick	100+
Wood shingles, shakes	10-30	Brick & Stone walls	100+
Slate	40-100+	Stucco	100+
Sheet metal	20-50	Mortar	25-50
Built-up roofing	12-30		
Cement asbestos		PAINT	
EPDM rubber	15-25	30-45 Exterior paint	7-10
Tile	50	Interior paint	7-15
Gutters, downspouts	30	Trim and door paint	5-10
BATH		FOOTINGS	
Tub/shower: fiberglass	15-20		

Tub: cast iron	50		Poured concrete foundation	200+	
Toilet	40		Concrete block	100+	
Lavatory: enamel steel	5-10		Termite proofing		2-5
Lavatory: enamel cast iron		25-30			
Lavatory: porcelain	25-30		EXTERIOR		
COUNTERS/CABINETS			Pressure treated deck	10-20	
Kitchen/bath cabinets	15-30		Brick & concrete patio	20-30	
Medicine cabinet		20	Concrete walk	25	
Countertop: laminated	10-15		Asphalt driveway		15
Countertop: Ceramic tile	50+		Concrete driveway	20-30	
Countertop: Corian	50+				
WINDOWS & DOORS					
Wood window	20-70				
Aluminum & Vinyl window	15-30				
Window glazing	20				
Interior door: hollow	30-100+				
Interior door : solid	30-100+				
Exterior	80-100				
Garage door	20-50				
Garage door opener	10-12				